

Ref:  
AB1

ARGYLL AND BUTE COUNCIL  
[WWW.ARGYLL-BUTE.GOV.UK/\\*\\*](http://WWW.ARGYLL-BUTE.GOV.UK/**)

OFFICIAL USE

13 May 2013  
H Macpherson

Date Received

## NOTICE OF REVIEW

Notice of Request for Review under Section 43(a)8  
of the Town and Country Planning (Scotland) Act 1997 and the Town and  
Country Planning (Schemes of Delegation and Local Review Procedures  
(Scotland) Regulations 2008

**Important** – Please read the notes on how to complete this form and use  
Block Capitals. Further information is available on the Council's Website.  
You should, if you wish, seek advice from a Professional Advisor on how to  
complete this form.

(1) APPLICANT FOR REVIEW	
Name	MR & MRS STRATHERN
Address	ELDERBERRY
	KEIL CROFTS
	BENDERLOCH
Postcode	PA37 1QS
Tel. No.	
Email	

(2) AGENT (if any)	
Name	SHAUNA CAMERON
Address	SELMA CHURCH
	BENDERLOCH
	OBAN
Postcode	PA37 1QS
Tel. No.	01631 720 215
Email	shauna.cameron@argyll architects.co.uk

(3) Do you wish correspondence to be sent to you  or your agent

(4) (a) Reference Number of Planning Application 12/02293/PP

(b) Date of Submission 17 OCTOBER 2012

(c) Date of Decision Notice (if applicable) 18 FEBRUARY 2013

(5) Address of Appeal Property

ELDERBERRY  
KEIL CROFTS  
BENDERLOCH  
OBAN  
PA37 1QS

(6) Description of Proposal

VARIATION OF CONDITIONS 4 & 5 (LAYOUT & MATERIAL FINISH), RELATIVE TO PLANNING PERMISSION REF: 08/00165/COU

(7)

**Please set out the detailed reasons for requesting the review:-**

The applicants applied to vary conditions 4 & 5 that required that either timber chalets or timber clad caravans to be used throughout the site "in the interest of visual amenity and in order to integrate the proposal with its surroundings".

The applicants have installed 6 caravans and one timber lodge on the site, in addition to the 3 existing caravans allowed under the caravan on croft regulation and intend to add 2 further timber lodges in 2013/14 to complete the caravan park development. In the current economic climate it would be prohibitively expensive to install timber chalets; better for the applicant and the surrounding area, to have 12 affordable self-catering units than restrict numbers to 3 units because the caravans are not made of wood.

Elderberry Croft is made up of various buildings: a substantial house and letting cottage; a large green metal clad barn, workshop buildings (motorcycle/mot station and maintenance of quad bikes/outboard engines etc); 9 caravans and 1 timber lodge. The caravan site is not isolated but forms part of the overall visual and landscape setting of both the croft and the Keil road.

The caravans have no greater impact on the surrounding area than the large green metal clad barn. This is a working croft where the applicants have sought to diversify in several ways to ensure viability for them and their young family.

The variation of conditions was sought as follows:

- 1) The applicants do not wish to clad caravans in timber for the following reasons:
  - a) There are no other timber clad static caravans or buildings on the north side of Keil road (c26). Two other caravans on an adjacent croft are painted off white while 5 caravans on 2 sites sit opposite the Park to the south [2 + 3]
  - b) The maturing boundary vegetation provides adequate screening and the visual amenity of the area will not be compromised.
- 2) 1 timber chalet has been installed, and 2 further timber chalets will be located to the north of the caravan park. As these lodges have premium rate rentals, occupants require to be a) as far from the public road as possible, b) to be located in the part of the site with the most privacy and best views.

Conditions 4 & 5 were attached to the consent in the interests of visual amenity and to integrate the development in the surroundings. It is clear from the enclosed photos that the site has no detrimental effect on the visual amenity of the area and that it integrates well with its surroundings.

As the vegetation matures along the western boundary, along the south and western boundaries, it will integrate/disappear further with the landscape.

Static and touring caravan parks, private caravans, mobile homes, timber lodges, painted lodges, houses, restaurants, chip van, segway trails cycle paths, sail makers factory form part of the visual landscape of the Keil road from its junction with the A828 to Tralee Bay Holiday Park. This caravan site is part of the diverse range of activities that bring much economic benefit to the Benderloch area.

Elderberry Caravan Park with its mix of timber lodges and static caravans has no detrimental effect on the visual amenity of either its immediate location on Elderberry Croft, or on the wider Keil crofts area. It integrates well with its immediate surroundings and with the wider surroundings of the Keil crofts area.

Therefore we ask that conditions 4 & 5 can be varied to allow 9 static caravans and 3 timber chalets to the rear of the caravan park.

(8) If the Local Review Body determines that it requires further information on “specified matters” please indicate which of the following procedure you would prefer to provide such information :-

- (a) Dealt with by written submission
- (b) Dealt with by Local Hearing
- (c) Dealt with by written submission and site inspection
- (d) Dealt with by local hearing and site inspection

*NB It is a matter solely for the Local Review Body to determine if further information is required and, if so, how it should be obtained.*

(9) Please list in the schedule all documentation submitted as part of the application for review ensuring that each document corresponds to the numbering in the sections below:-

Schedule of documents submitted with Notice of Review (**Note: 3 paper copies of each of the documents referred to in the schedule below must be attached**):

No.	Detail
1	12.21.01 Location Plan @ A3
2	12.21.02 Site Plan @ A3
3	12.21 Supporting Statement 1 page @ A4
4	12.21.03 Photo Identification Plan
5	Photo Identification Sheet
6	Photo Sheet 1 @ A4
7	Photo Sheet 2 @ A4
8	Photo Sheet 3 @ A4
9	Photo Sheet 4 @ A4
10	

If insufficient space please continue on a separate page. Is this is attached?  (Please tick to confirm)

Submitted by  
(Please Sign)

Shauna R Cameron

Dated

13 Nov 2013

### Important Notes for Guidance

1. All matters which the applicant intends to raise in the review must be set out in or accompany this Notice of Review
2. All documents, materials and evidence which the applicant intends to rely on in the Review must accompany the Notice of Review UNLESS further information is required under Regulation 15 or by authority of the Hearing Session Rules.
3. Guidance on the procedures can be found on the Council's website – [www.argyll-bute.gov.uk/](http://www.argyll-bute.gov.uk/)
4. If in doubt how to proceed please contact 01546 604406 or email [localreviewprocess@argyll-bute.gov.uk](mailto:localreviewprocess@argyll-bute.gov.uk)
5. Once completed this form can be either emailed to [localreviewprocess@argyll-bute.gov.uk](mailto:localreviewprocess@argyll-bute.gov.uk) or returned by post to *Committee Services (Local Review Board), Kilmory, Lochgilphead, Argyll, PA31 8RT*
6. You will receive an acknowledgement of this form, usually by electronic mail (if applicable), within 14 days of the receipt of your form and supporting documentation.

If you have any queries relating to the completion of this form please contact Committee Services on 01546 604392 or email [localreviewprocess@argyll-bute.gov.uk](mailto:localreviewprocess@argyll-bute.gov.uk)

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### For official use only

Date form issued

Issued by (please sign)

**SUPPORTING STATEMENT  
VARIATION OF CONDITIONS  
ELDERBERRY CARAVAN PARK, ELDERBERRY CROFT, BENDERLOCH  
REF: 08/00165/COU**

The applicants wish to vary Conditions 4 and 5.

The overall requirement of these conditions is that either Timber Chalets or timber clad caravans to be used throughout the site "in the interest of visual amenity and in order to integrate the proposal with its surroundings".

The applicant has installed 5 out of 6 caravans and one timber lodge on the site, in addition to the 3 existing caravans allowed under the caravan on croft regulation.

The applicant intends to add caravan no 6 in 2013 and 2 further timber lodges in 2013/14 to complete the Caravan Park Development.

The Variation of Conditions sought is as follows:

1) The applicants do not wish to clad caravans in timber for the following reasons: a) there is no other timber clad static caravans or buildings on the north side of Keil Road (C26). Two other caravans on an adjacent croft are painted off white. b) The boundary vegetation provides adequate screening at all times of the year. Therefore the visual amenity of the area will not be compromised.

2) 1 timber chalet has been installed, and 2 further timber chalets will be located to the north of the caravan park. As these lodges have premium rate rentals, occupants require to be a) as far from the public road as possible, b) to be located in the part of the site with the most privacy and best views.

Conditions 4 & 5 were attached to the consent in the interests of visual amenity and to integrate the development in the surroundings. It is clear from the enclosed photos that the site has no detrimental effect on the visual amenity of the area and that it integrates well with its surroundings. As the vegetation matures along the western boundary, along with that to the south and east, it will integrate further with the landscape.

Static and touring caravans, mobile homes, timber lodges, painted lodges all form part of the landscape along the Keil Road from its junction with the A828 to Tralee Bay Holiday Park.

Elderberry Caravan Park with its mix of timber lodges and static caravans has no detrimental effect on the visual amenity of either its immediate location on Elderberry Croft, or on the wider Keil Crofts area. It integrates well with its immediate surroundings and with the wider surroundings of the Keil Crofts area.



Therefore we contend that Conditions 4 & 5 can be varied to allow for 9 static caravans and 3 timber chalets to the rear of the Caravan Park.

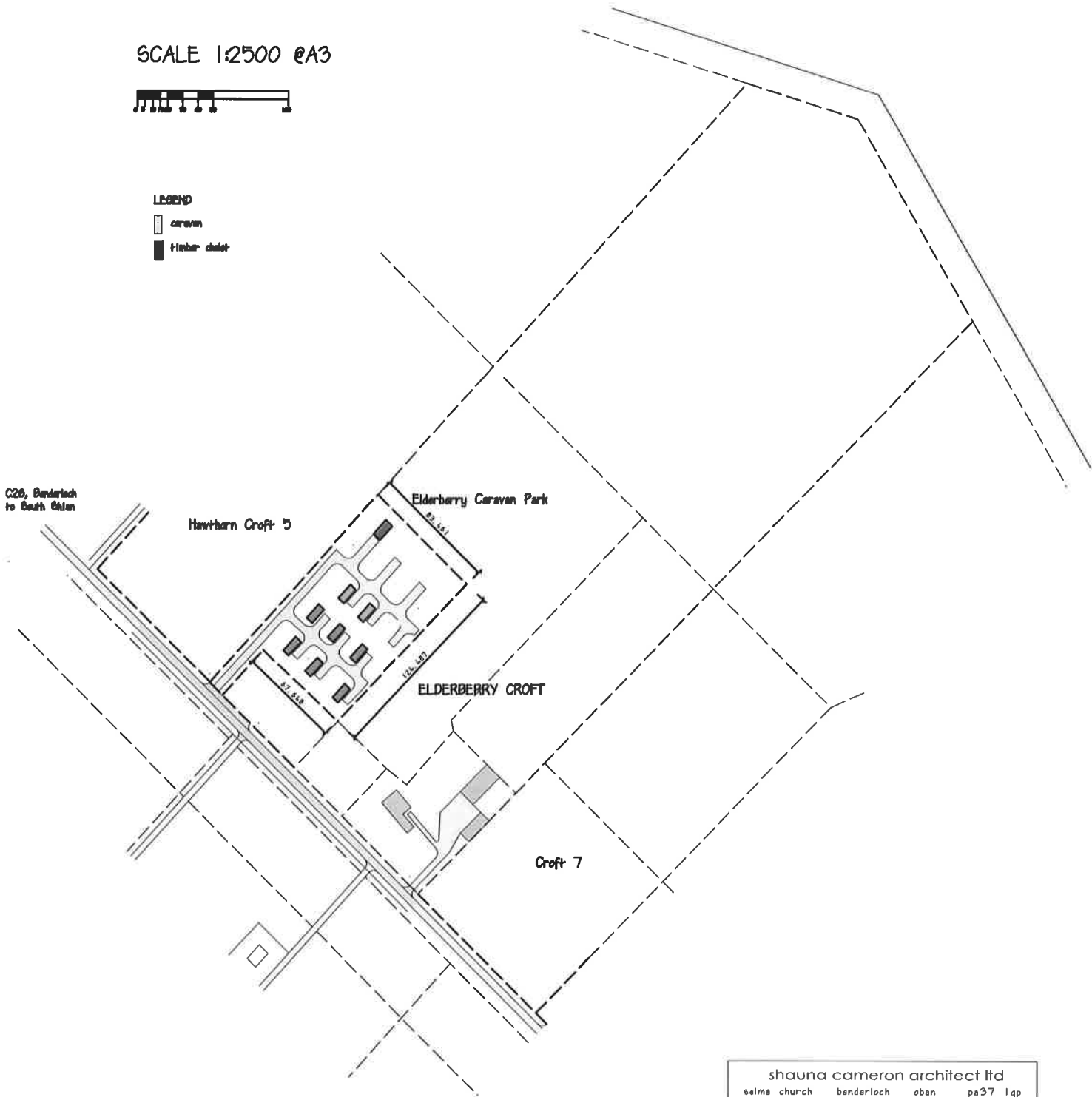


SCALE 1:2500 @A3



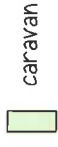
LEGEND

-  caravan
-  timber shed



shauna cameron architect ltd selma church benderloch oban pa37 1qp 01631 720215 shauna.cameron@argyllarchitects.co.uk		
client:	Mr & Mrs Strathern	
project:	Elderberry Caravan Park, Varcon	
title:	Location Plan	
drwg no	1221.01	scale 1:2500 @A3 date oct '12
rev	description	date
Notes: do not scale drawings use given dimensions only dimensions to be confirmed prior to commencing building works or manufacture of components all deviations to the approved plans to be reported to the architect and agreed in writing		

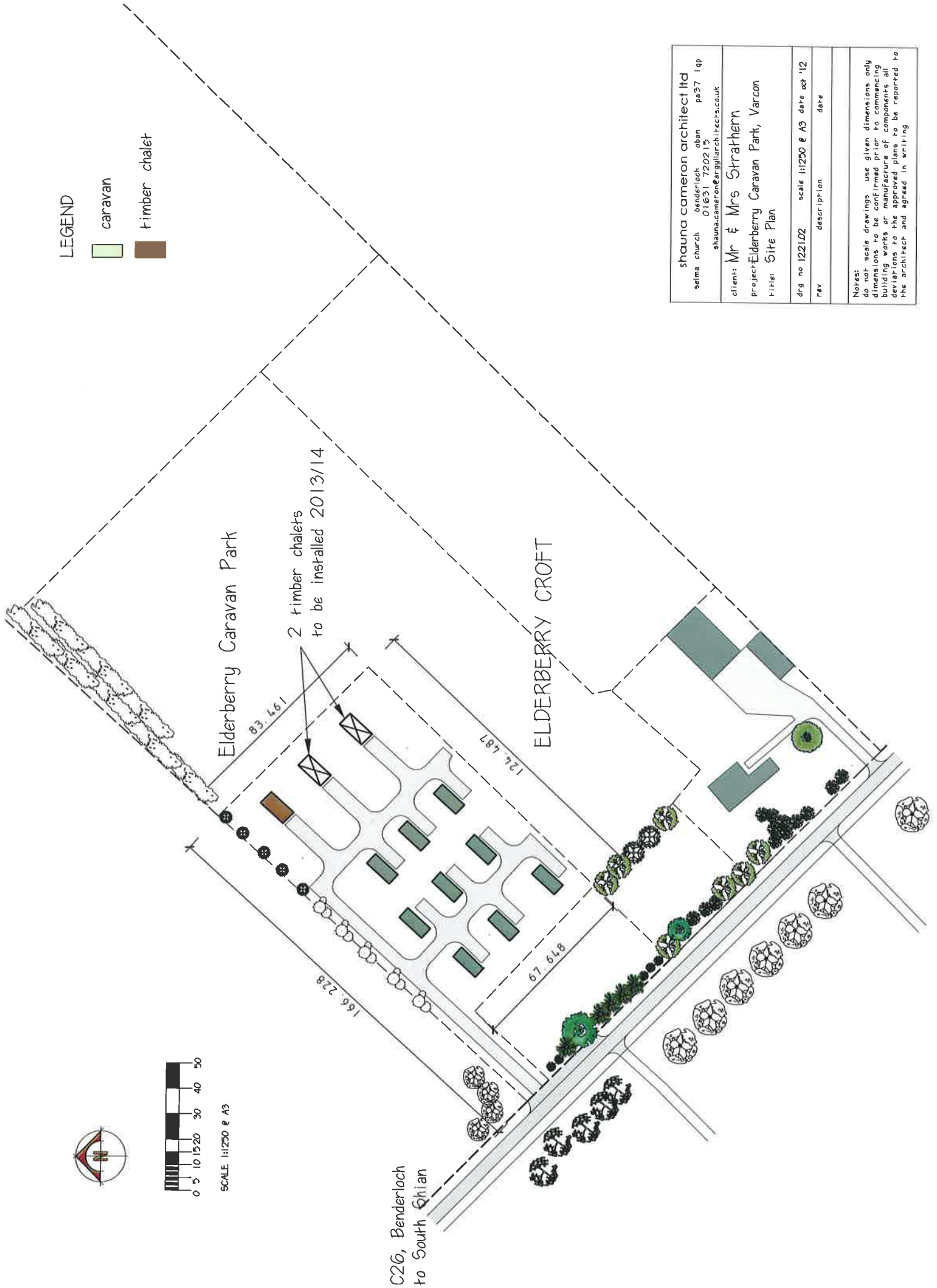
LEGEND



caravan



timber chalet



shauna cameron architect ltd	
selma church	benderloch oban pa37 1qp
	01631 720215
	shauna.cameron@argyllarchitects.co.uk
client: Mr & Mrs Strathern	
project: Elderberry Caravan Park, Varcon	
title: Site Plan	
drw no 1221.02	scale 1:1250 @ A3 date oct 12
rev	description
Notes: do not scale drawings use given dimensions only dimensions to be confirmed prior to commencing building works or manufacture of components all deviations to the approved plans to be reported to the architect and agreed in writing	

## **Photo Identification Sheet - Elderberry Caravan Site, Keil Crofts, Benderloch**

### Sheet 1

1. View of croft from east.
2. Other croft buildings
3. Other croft buildings
4. Other croft buildings

### Sheet 2

5. First view of caravans from front of cottage.
6. View from front of croft house
7. View between east corner & site
8. View from east corner of site.

### Sheet 3

9. Front of site showing adjacent croft developments (NE).
10. Opposite side of road (shore side) showing 3 caravans.
11. Front of site from lay-by.
12. Chalet and vegetation on west boundary.

### Sheet 4

13. View from site entrance looking east to croft house and shed.
14. View from site entrance looking east to croft house and shed.
15. Caravan site and adjacent croft developments (house, chalet, cottage, restaurant and chalet).
16. Caravan site from road.



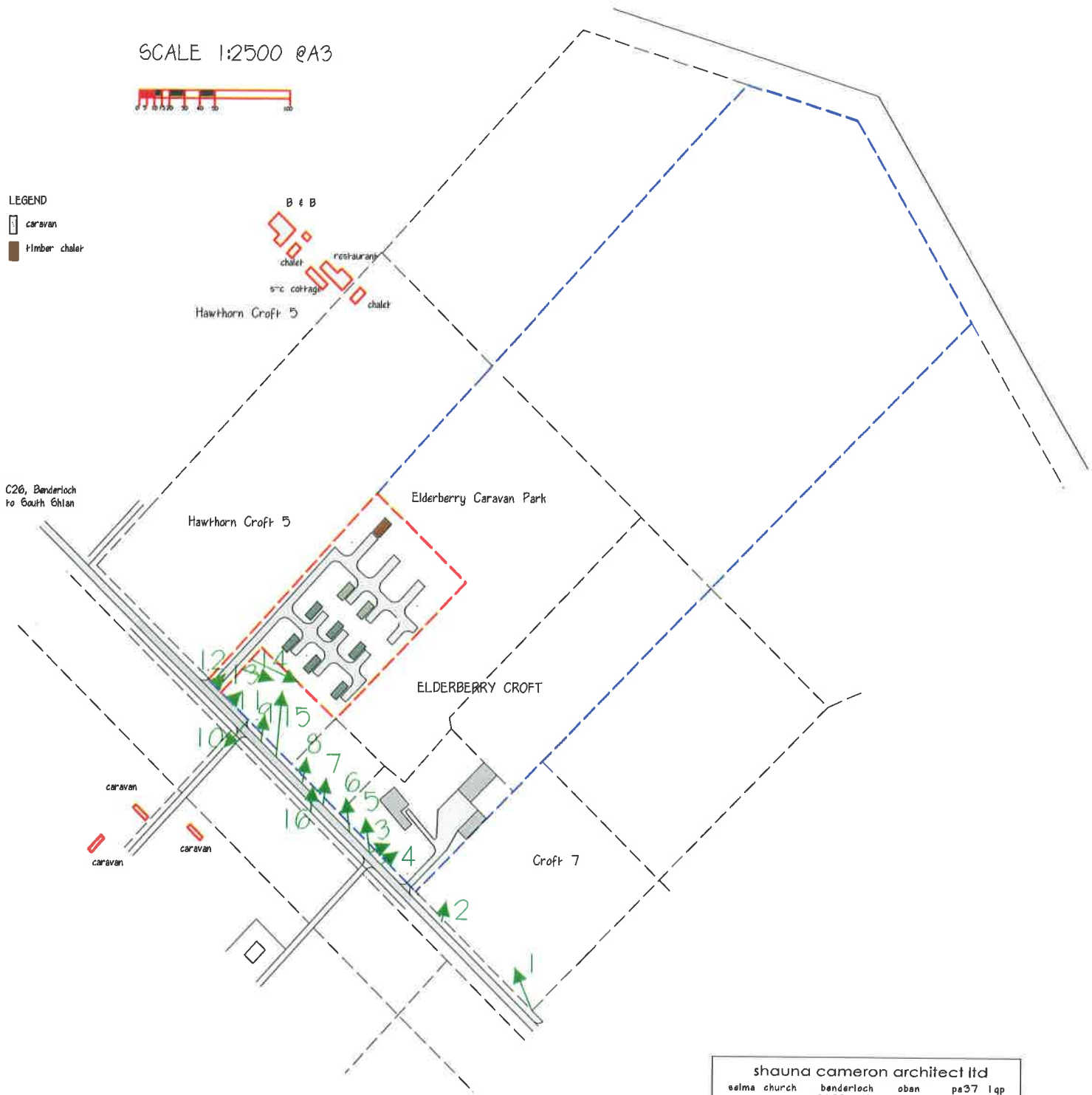


SCALE 1:2500 @A3



LEGEND

- caravan
- Hilber chalet



<b>shauna cameron architect ltd</b> selma church benderloch oban pa37 1qp 01631 720215 shauna.cameron@argyllarchitects.co.uk			
client:	Mr & Mrs Strathern		
project:	Elderberry Caravan Park, Varcon		
title:	Photo Identification Plan		
drg no	12.21.03	scale	1:2500 @A3 date oct '12
rev	description	date	
Notes: do not scale drawings use given dimensions only dimensions to be confirmed prior to commencing building works or manufacture of components all deviations to the approved plans to be reported to the architect and agreed in writing			

Sheet 1



Sheet 2



Sheet 3



